



Information Sheet

Project // Muir ADU and Inline Addition

Address // 1362 S. 600 E.

Request Type // Conditional Use and Special Exception

Petition // PLNPCM2021-00344

& PLNPCM2021-00345

Applicant // Kyle Muir

Request Summary

Salt Lake City has received the following requests from Kyle Muir for the property located at 1362 South 600 East:

1. Special Exception approval to construct a 600 sq. ft. horizontal inline addition at the rear of the existing dwelling located on the property. The proposed addition extends the footprint of the existing dwelling 22' towards the western, rear property line and maintains the existing 2' 9" width of the southern and northern side yards of the existing dwelling.
2. Conditional Use approval to construct a 496 sq. ft. detached accessory dwelling unit in the rear yard of the property.

The subject property is located in the R-1-5000 (Single Family Residential) Zoning District which requires minimum interior side yards of 4' in width on one side of the dwelling and 10' in width on the other side. The southern and northern, interior side yards of the existing dwelling measure 2' 9" in width. Special exception approval is required for inline additions which expand the footprint of existing dwellings noncomplying with yard area regulations. In addition, the R-1-5000 Zoning District requires Conditional Use approval to construct a detached accessory dwelling unit. The subject property is located in Council District 5, represented by Darin Mano.

Review Criteria

Planning Staff is reviewing the application against the Conditional Use standards of City Code [21A.54.080](#) the Accessory Dwelling Unit standards of [21A.40.200](#) and the Special Exception standards of [21A.52](#).

Public Process and Next Steps

- The Planning Division is in the process of obtaining public comment on this project to help identify concerns and issues from the public.
- Notice has been sent to the Chairpersons of the community organizations for this area.
- Following the public comment period, the proposal will be scheduled for a public hearing before the Planning Commission.
- The Planning Commission will hold a public hearing to make a decision on the submitted proposal.
- The public hearing has not yet been scheduled. Public notices will be sent to property owner and residents within 300 feet of the proposal when that has been scheduled.



City Planning Staff Contact

If you have questions about the proposal or if you have comments please contact the City staff planners assigned to the proposal:

- Brooke Olson at 385-707-6770 or brooke.olson@slcgov.com

Attachments

- A. Vicinity Map
- B. Plan Set
- C. Applicant's Request Letter

Muir ADU & Inline Addition



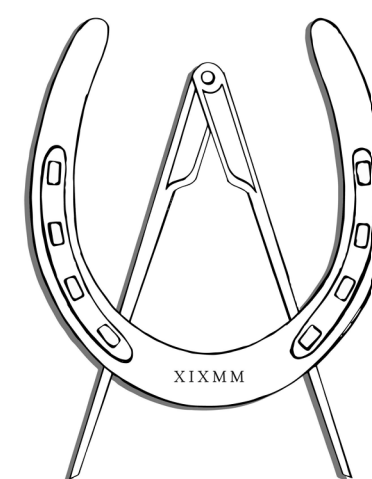
Salt Lake City Planning Division 10/15/2021



IRON HORSE

ARCHITECTURE

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ARCHITECTURAL

SHEET NUMBER	SHEET NAME
A000	COVER
A001	ARCHITECTURAL SITE PLAN
A101a	ADDITION FLOOR PLANS
A102b	ADU FLOOR PLANS
A201a	ADDITION EXISTING/DEMO ELEVATIONS
A202a	ADDITION NEW ELEVATIONS
A203b	ADU EXTERIOR ELEVATIONS
A501	ARCHITECTURAL DETAILS

KYLE MUIR - ADDITION & ADU

1362 SOUTH 600 EAST SLC, UT 84105

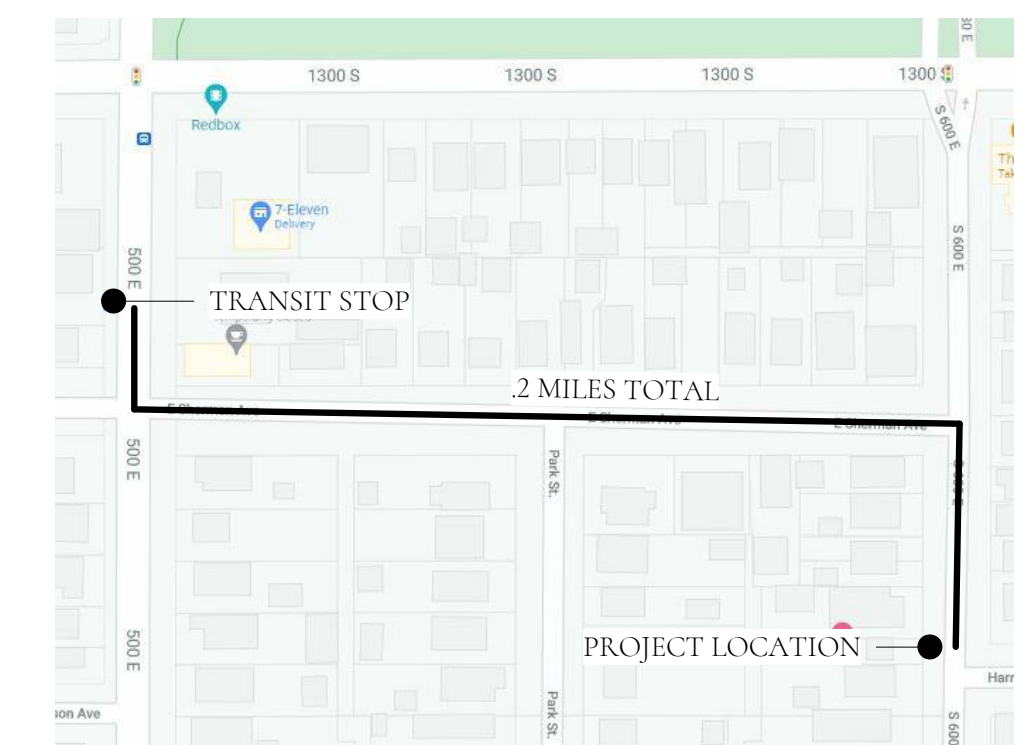
SEPTEMBER 2021

CONSTRUCTION DOCUMENTS

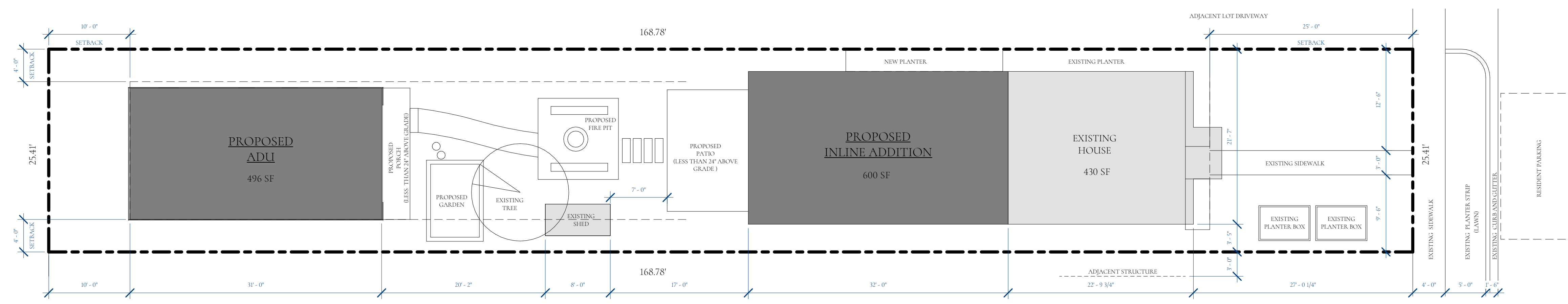


MARK	REVISION	DATE	DATE: SEPTEMBER 2021
			PROJECT #: 21-04
			DESIGNED BY: ZDH
<small>PROPERTY OF IRON HORSE ARCHITECTURE LLC. UNAUTHORIZED USE AND/OR REPRODUCTION OF THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN PERMISSION FROM IRON HORSE ARCHITECTURE LLC IS PROHIBITED. DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.</small>			
<p>PROJECT:</p> <p>KYL MUIR - ADDITION & ADU</p> <p>1362 SOUTH 600 EAST SLC, UT 84105</p>			
SHEET NAME:			SHEET NUMBER:
COVER			A000

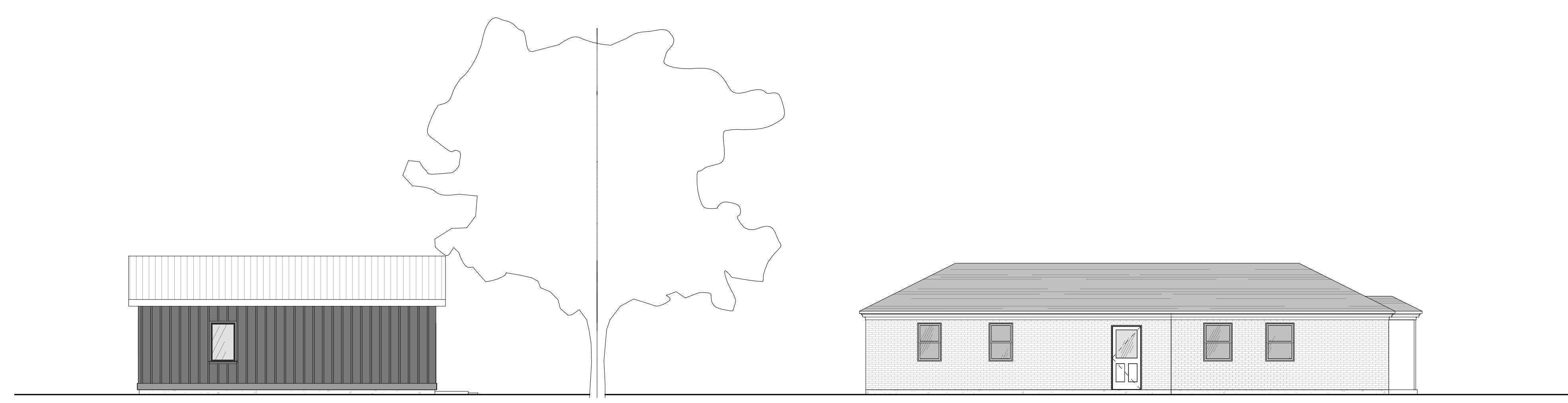
NOT FOR CONSTRUCTION



ADU PARKING REQUIREMENT
21A.40.200.E.1.g.
The parking requirement may be waived if:
(1) Legally located on street parking is available along the street frontage of the subject property; or
(2) The subject property is located within one-quarter (1/4) mile of transit stop.



SITE PLAN
A001 | SCALE: 1/8" = 1'-0"



SITE ELEVATION
A001 | SCALE: 1/8" = 1'-0"

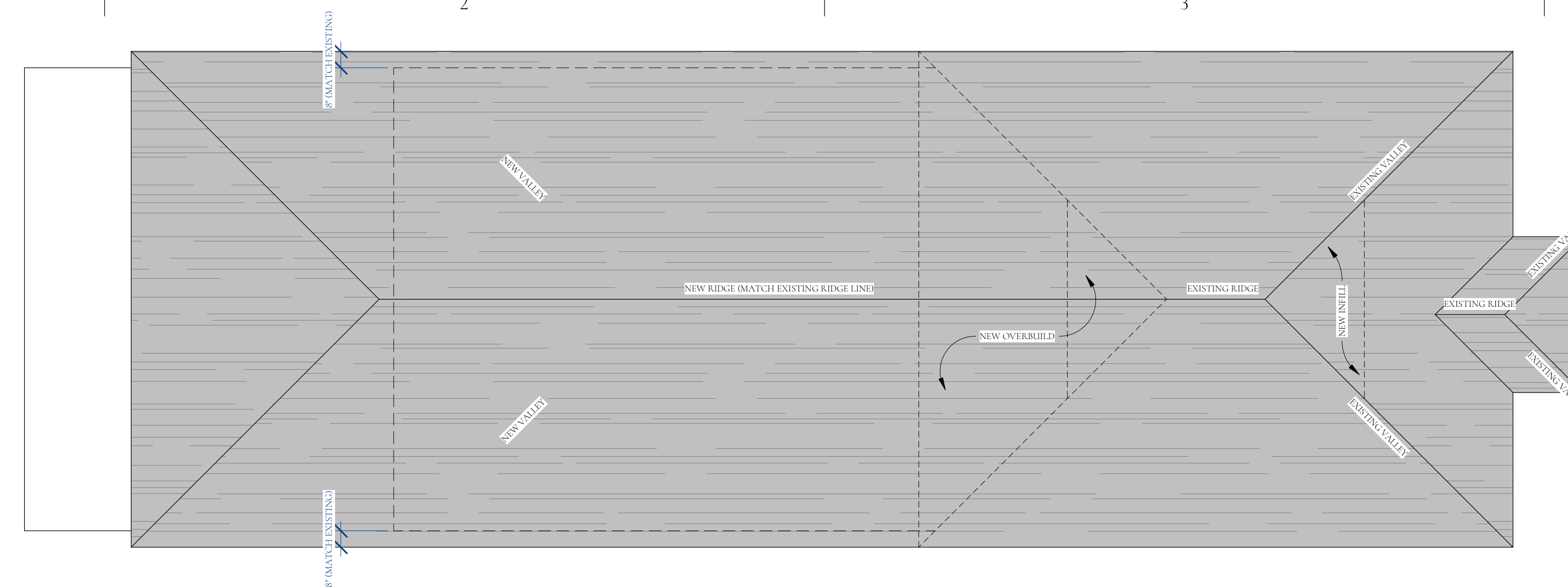
LOT COVERAGE	
Total Lot Acreage	.09 (4200 SF)
Total Lot Coverage	1726 SF
	(39% coverage)
Total Rear Yard	2590 SF
Total Rear Yard Coverage	696 SF
	(27% Coverage)
Existing Shed	200 SF
Existing House SF	430 SF
Addition SF	600 SF
New Total SF	1030 SF
Detached Unit SF	496 SF

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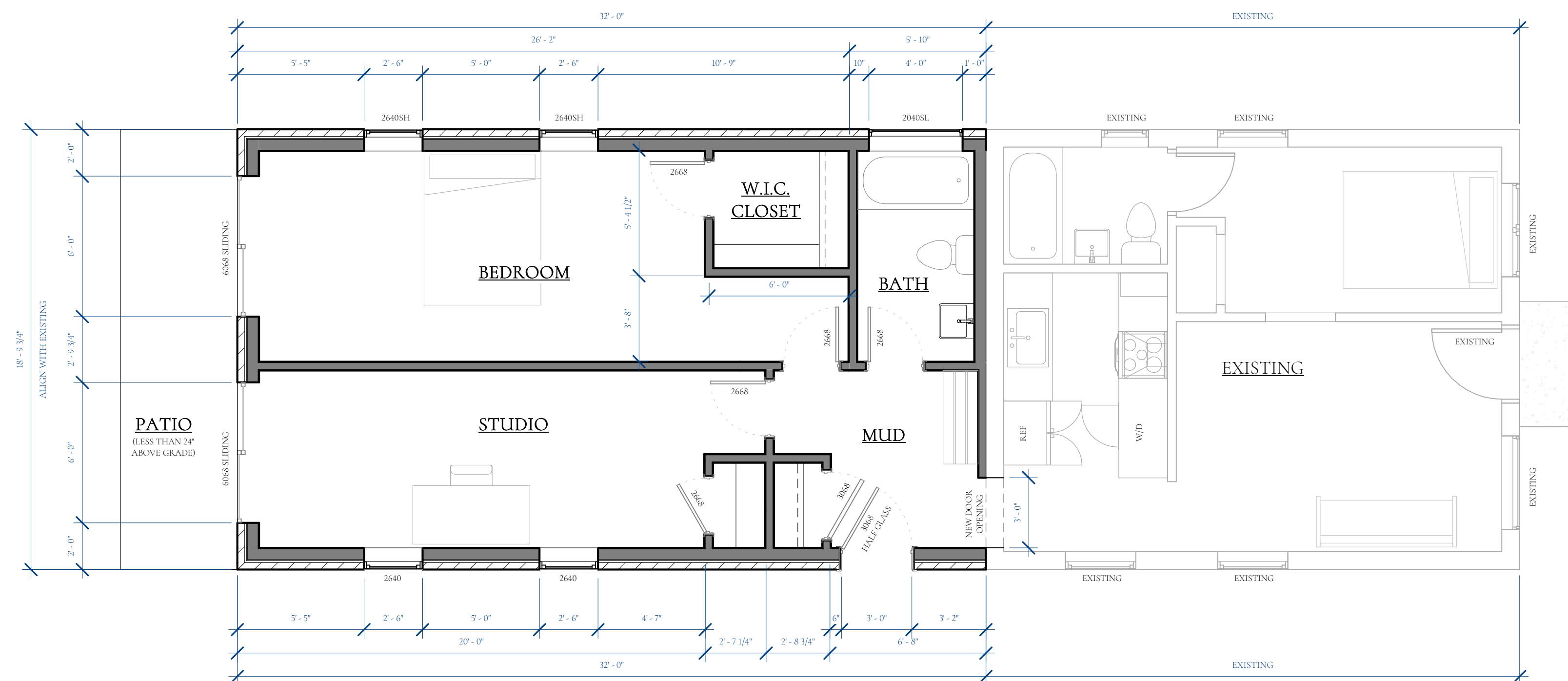
PROJECT:
KYL MUIR - ADDITION & ADU
1362 SOUTH 600 EAST
SLC, UT 84105

SHEET NAME: ARCHITECTURAL SITE PLAN	SHEET NUMBER: A001
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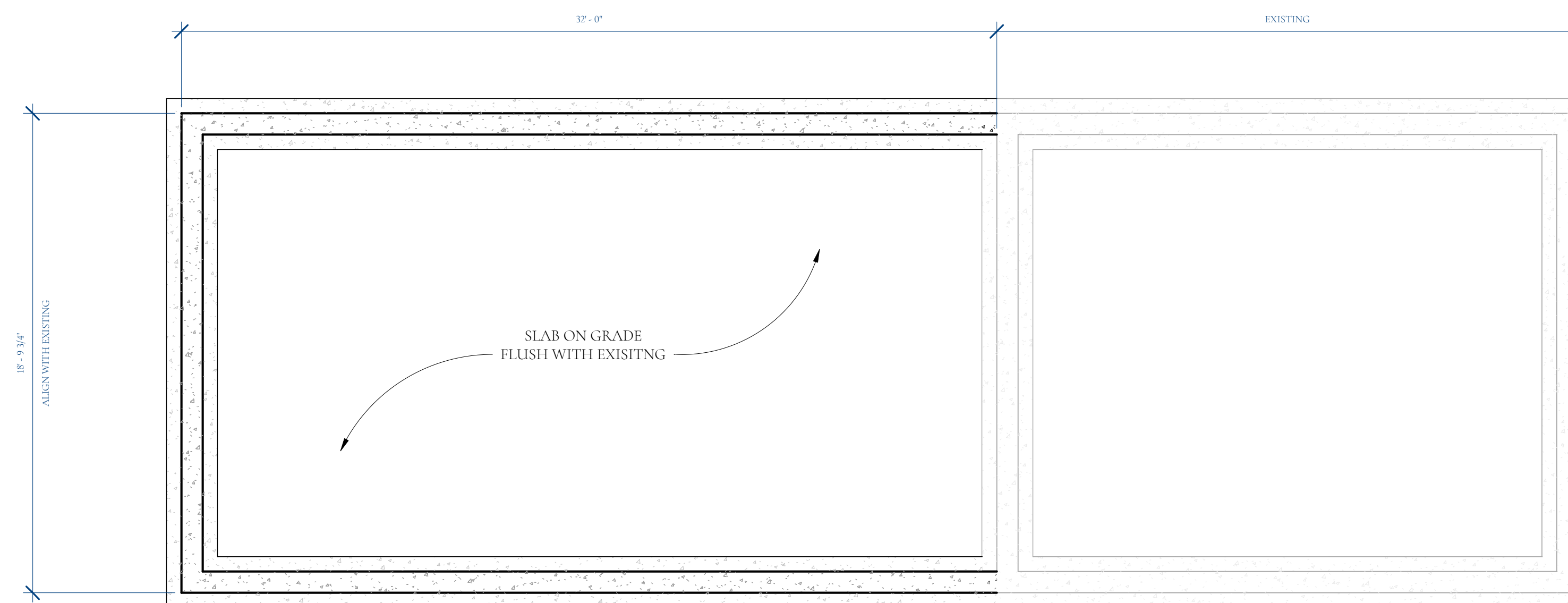
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B2 NEW ROOF PLAN
A101a SCALE: 1/4" = 1'-0"



C2 FIRST FLOOR PLAN
A101a SCALE: 1/4" = 1'-0"



D2 FOOTING/FOUNDATION PLAN
A101a SCALE: 1/4" = 1'-0"

SYM	DESCRIPTION	NOTE
	LED WRAPAROUND CEILING LIGHT	
	CEILING FAN	
	CHANDELIER	
	CEILING MOUNTED LIGHT	
	WALL MOUNTED LIGHT	
	RECESSED LIGHT	
	SWITCH	
	DIMMING SWITCH	
	110 DUPLEX OUTLET	
	110 GROUND FAULT INTERRUPT OUTLET	
	110 WATER PROOF OUTLET	
	CEILING MOUNTED 110 DUPLEX OUTLET	
	220 OUTLET	
	EXHAUST FAN	
	THERMOSTAT	
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	
	CAT 5	
	DOOR BELL	
	CHIME	

GENERAL NOTES

- GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE WORK (EXCAVATION, BACKFILL, GRADE, COMPACTING, ETC.) FINISHED GRADE SHALL SLOPE AT A MINIMUM OF 2% AWAY FROM STRUCTURE. DIMENSIONS ARE MEASURED FROM STUD TO STUD.
- DOORS ARE TO BE CENTERED IN SPACE OR STANDARD OFFSET FROM ADJACENT WALL, IF NOT OTHERWISE DIMENSIONED.
- ALL WORK BEING DONE MUST BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF IRC AND ALL LOCAL CODES AND REGULATIONS.
- COORDINATE ALL DRAWINGS WITH STRUCTURAL DRAWINGS AND SPECS.
- DRAWINGS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERED SPECS.

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<p>PROJECT:</p> <p>KYLE MUIR - ADDITION & ADU</p> <p>1362 SOUTH 600 EAST SLC, UT 84105</p>			<p>PROPERTY OF IRON HORSE ARCHITECTURE LLC. UNAUTHORIZED USE AND/OR REPRODUCTION OF THIS DOCUMENTATION WITHOUT WRITTEN PERMISSION OF IRON HORSE ARCHITECTURE LLC IS PROHIBITED. OWNER SHALL VERIFY ALL DIMENSIONS, PLANS AND REQUIREMENTS WITH ALL APPLICABLE REGULATORY AGENCIES.</p>
<p>SHEET NAME:</p> <p>ADDITION FLOOR PLANS</p>			<p>SHEET NUMBER:</p> <p>A101a</p>

NOT FOR CONSTRUCTION



IRON HORSE

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SHEET NOTES

- ELECTRICAL METER
- ELECTRICAL PANEL
- GAS METER
- HOSE BIB. MUST BE BACKFLOW PROTECTED.
- FLOOR DRAIN
- RAILING @ MIN 36" HEIGHT WITH NO SPHERE OPENING GREATER THAN 4". NO HORIZONTAL RAILES ARE NOT ALLOWED. STYLE AND COLOR TO BE DETERMINED BY HOME OWNER.

ELECTRICAL SYMBOLS

SYM	DESCRIPTION	NOTE
	LED WRAPAROUND CEILING LIGHT	
	CEILING FAN	
	CHANDELIER	
	CEILING MOUNTED LIGHT	
	WALL MOUNTED LIGHT	
	RECESSED LIGHT	
	SWITCH	
	DIMMING SWITCH	
	110 DUPLEX OUTLET	
	110 GROUND FAULT INTERRUPT OUTLET	
	110 WATER PROOF OUTLET	
	CEILING MOUNTED 110 DUPLEX OUTLET	
	220 OUTLET	
	EXHAUST FAN	
	THERMOSTAT	
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	
	CAT 5	
	DOOR BELL	
	CHIME	

GENERAL NOTES - ELECTRICAL

- ALL ELECTRICAL FIXTURES AND THEIR PLACEMENTS ARE TO BE VERIFIED WITH HOME OWNER PRIOR TO INSTALLATION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE IRC, NEC, ALL LOCAL CODES.
- INSTALL CARBON MONOXIDE DETECTORS ON EACH LEVEL IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- INSTALL SMOKE DETECTORS IN EACH BEDROOM.
- AIR REMOVED FROM EACH EXHAUST FAN SHALL BE DISCHARGED TO THE OUTDOORS IN ACCORDANCE WITH IRC SECTION M1506.3.

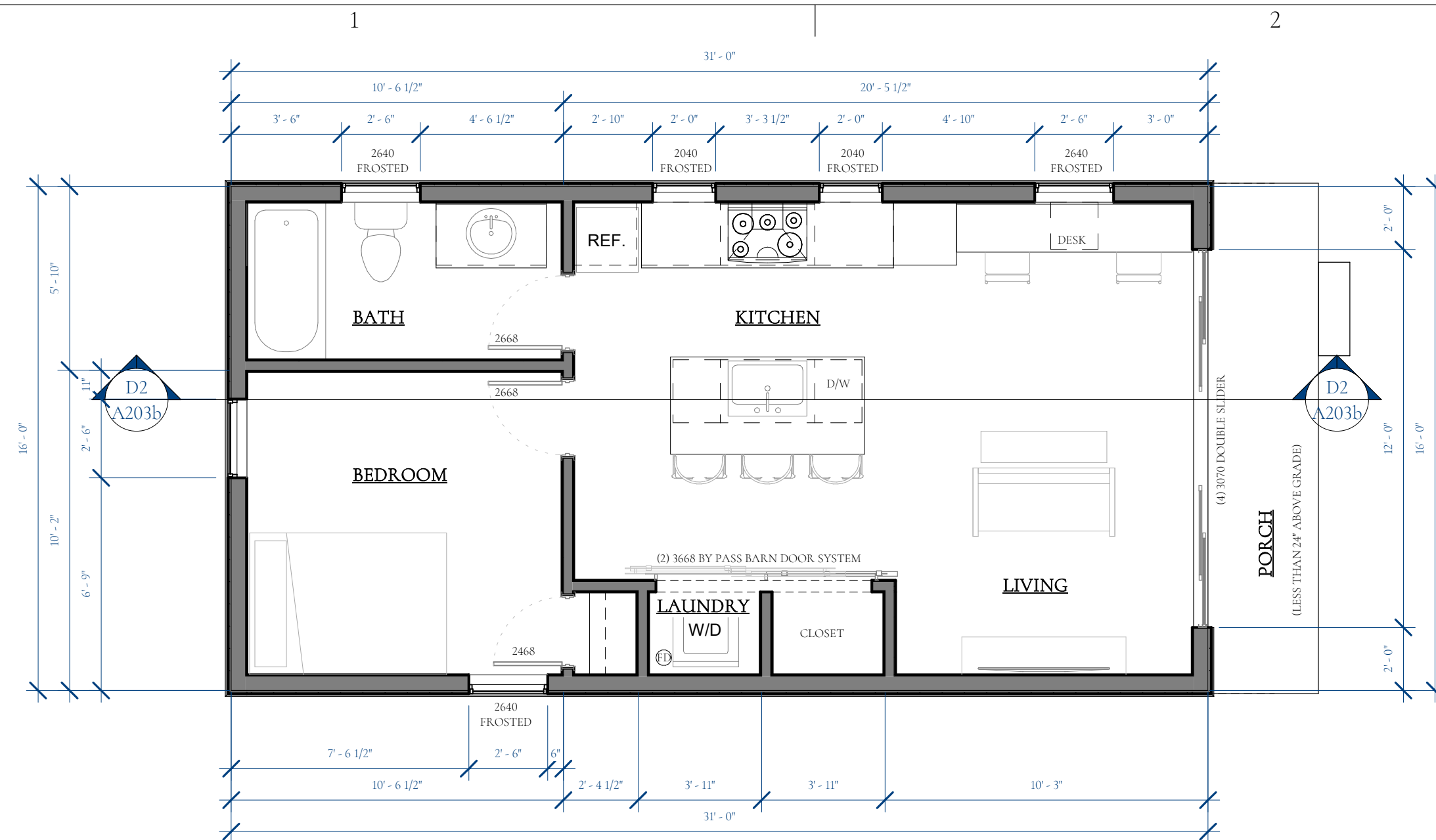
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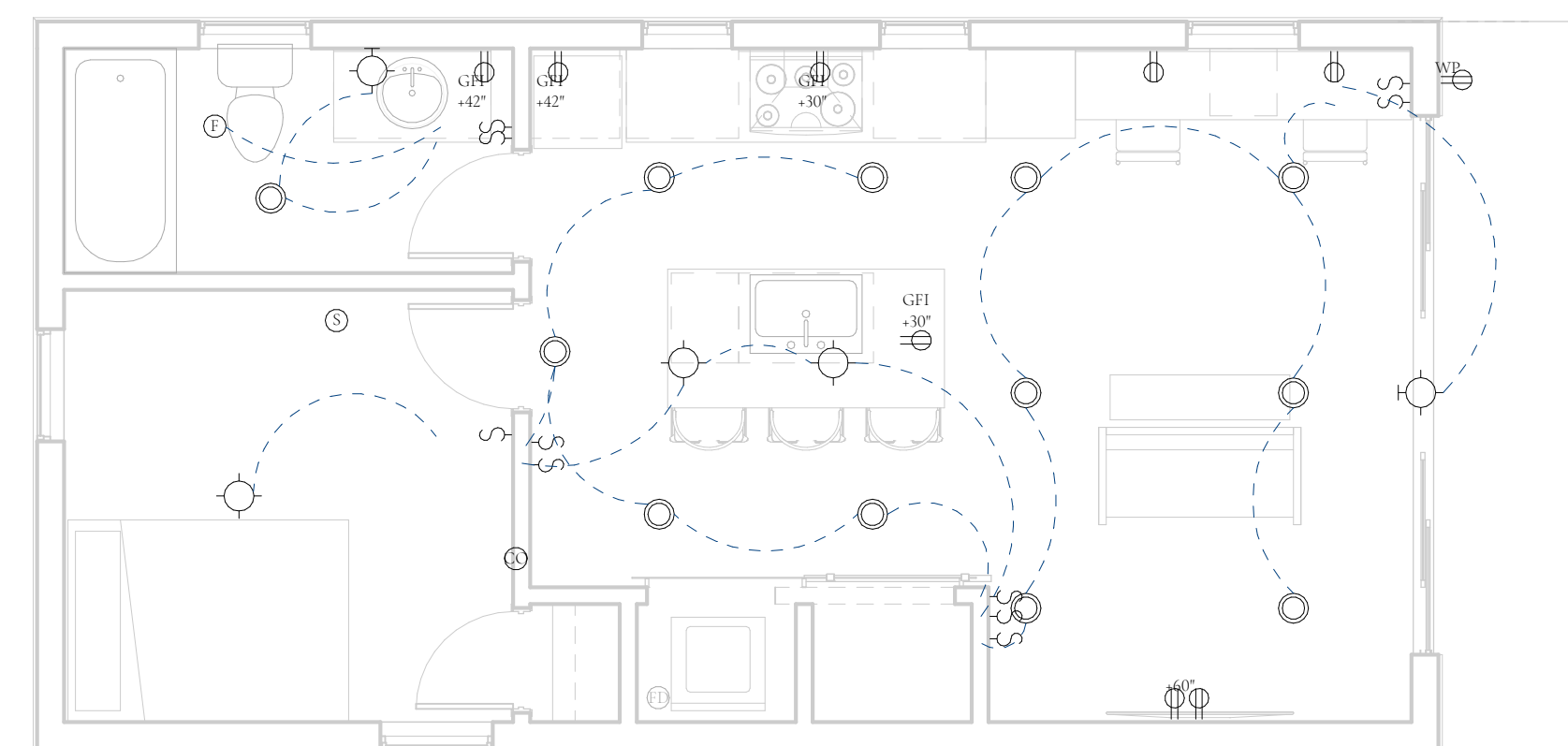
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KYL MUIR - ADDITION & ADU	
1362 SOUTH 600 EAST SLC, UT 84105	

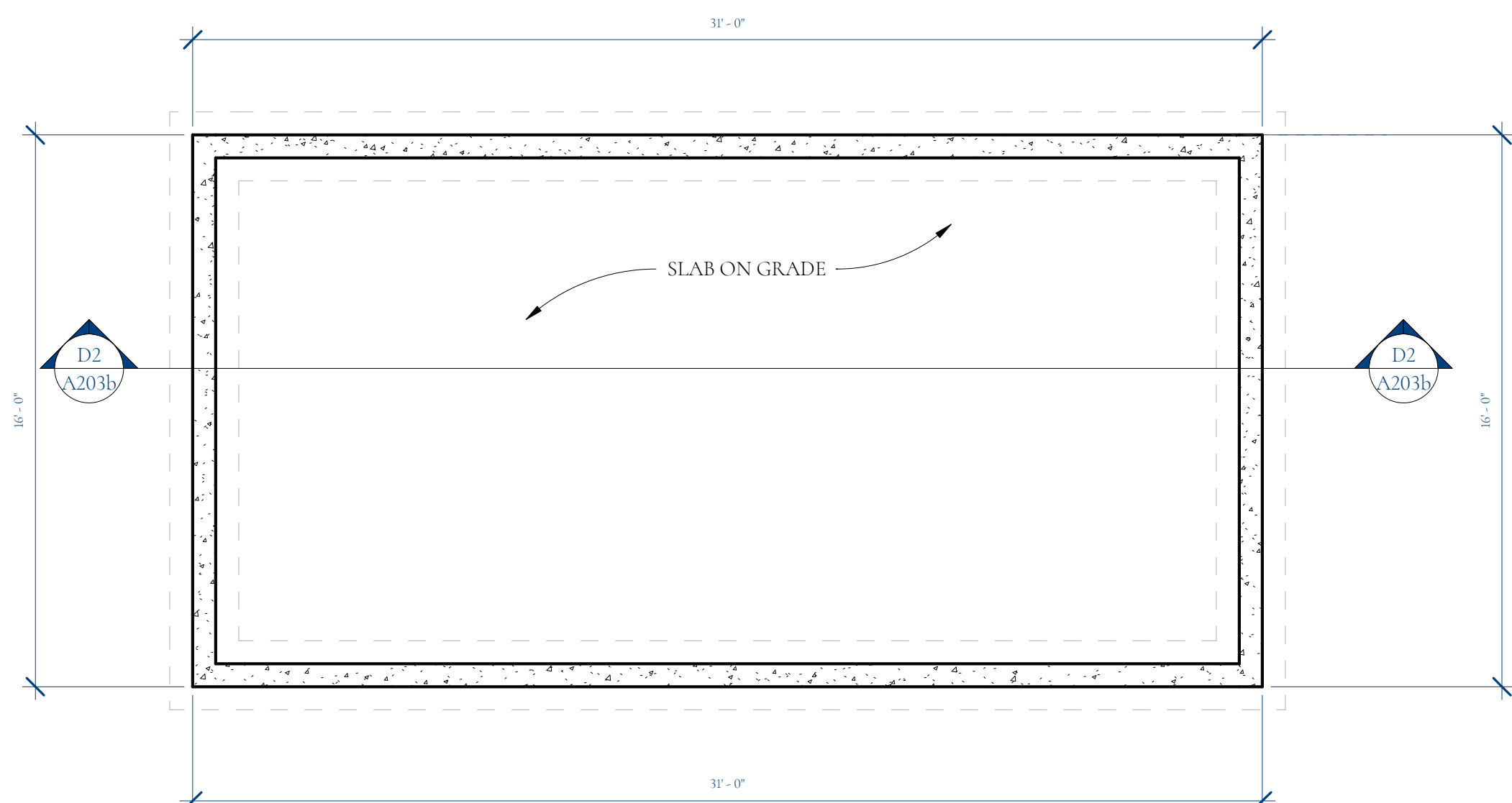
SHEET NAME:	SHEET NUMBER:
ADU FLOOR PLANS	A102b



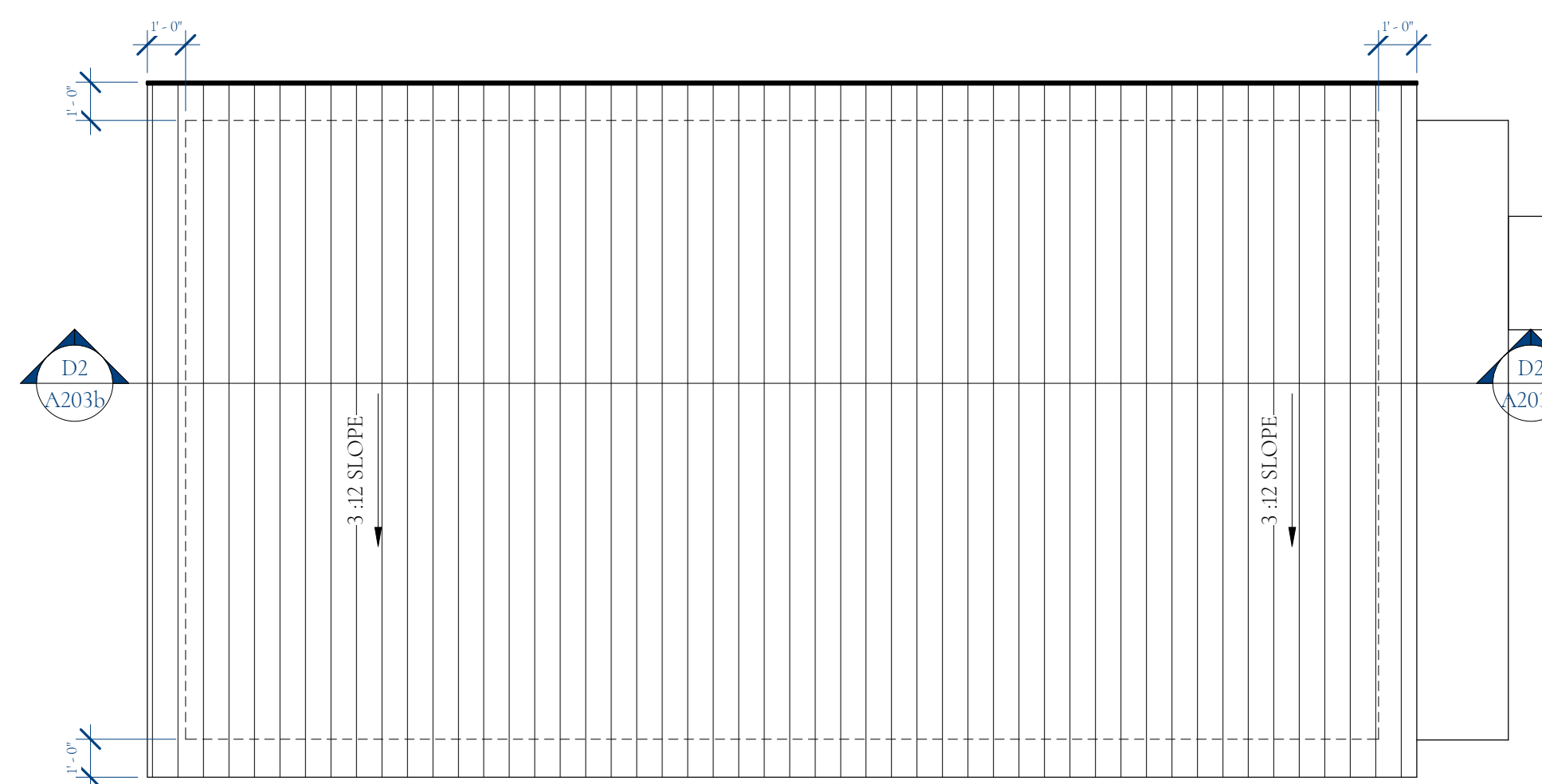
B1 FIRST FLOOR PLAN
A102b | SCALE: 1/4" = 1'-0" | 496 SF



B3 FIRST FLOOR ELECTRICAL PLAN
A102b | SCALE: 1/4" = 1'-0" | SEE ELCT. LEGEND



C1 FOOTING/FOUNDATION PLAN
A102b | SCALE: 1/4" = 1'-0"



C3 ROOF PLAN
A102b | SCALE: 1/4" = 1'-0"

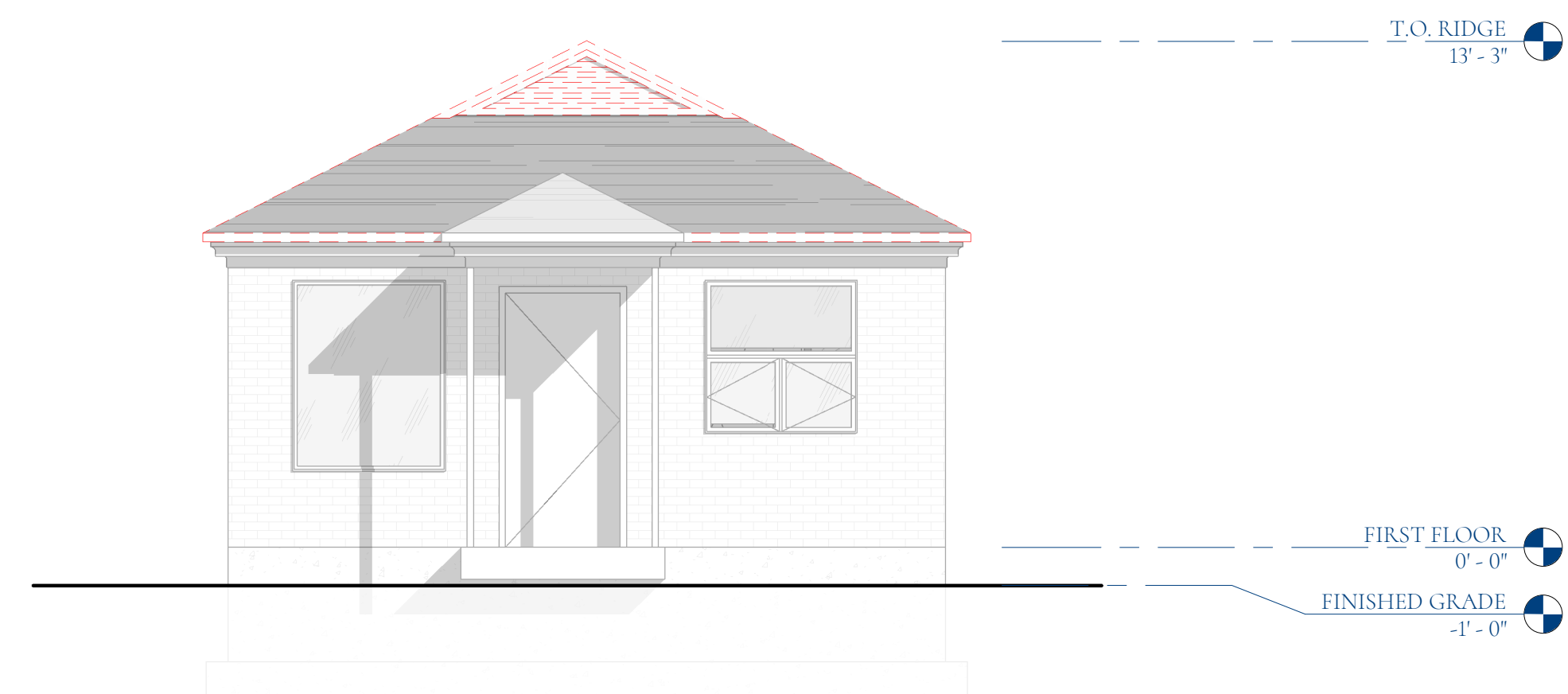
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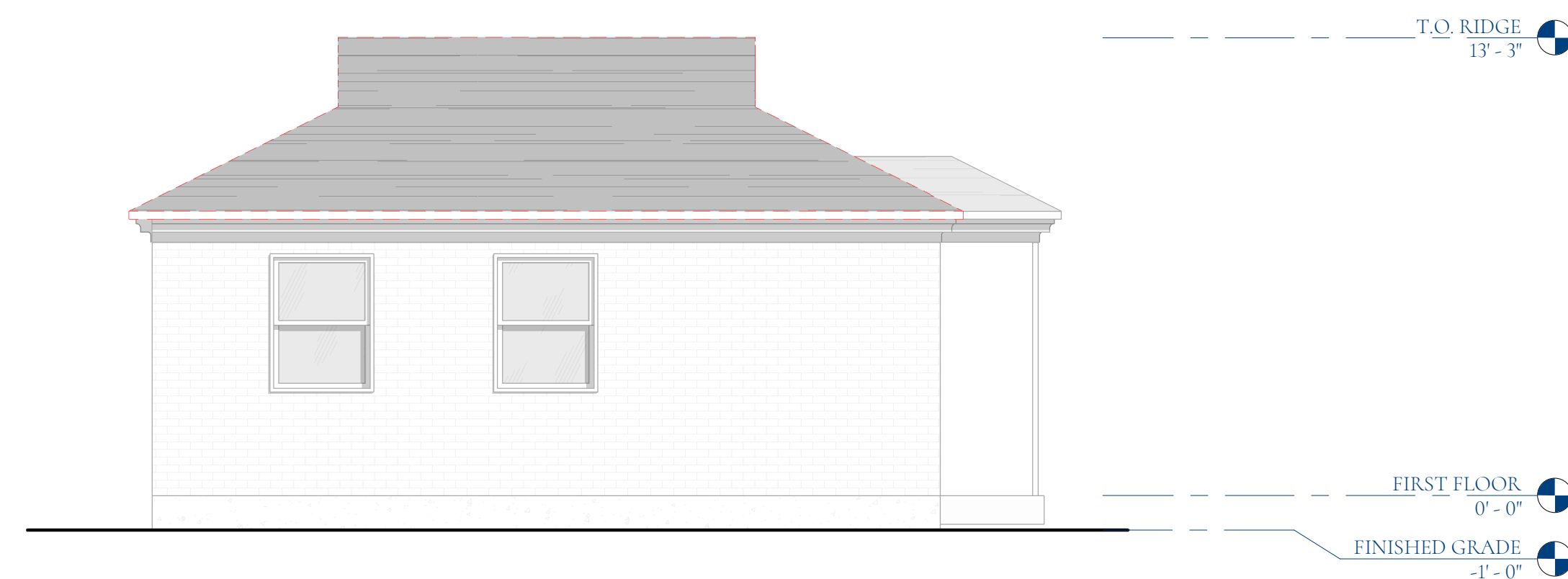
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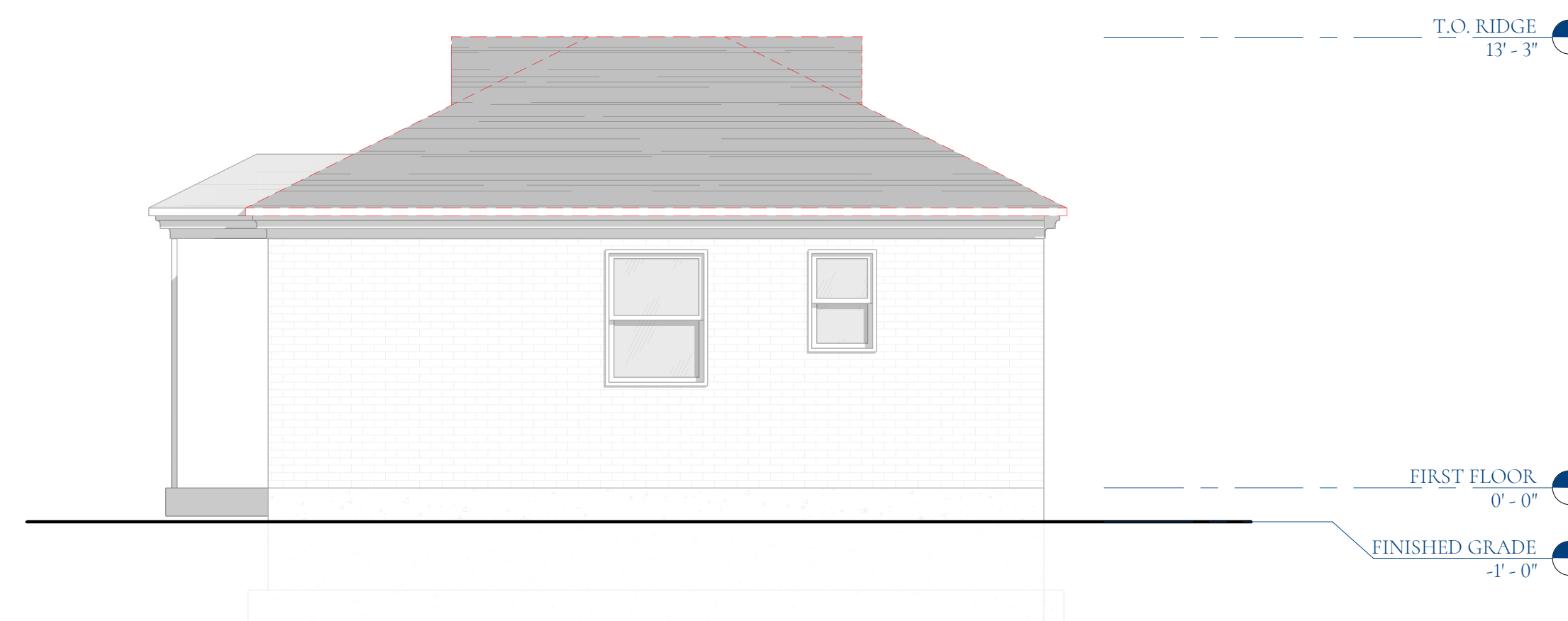
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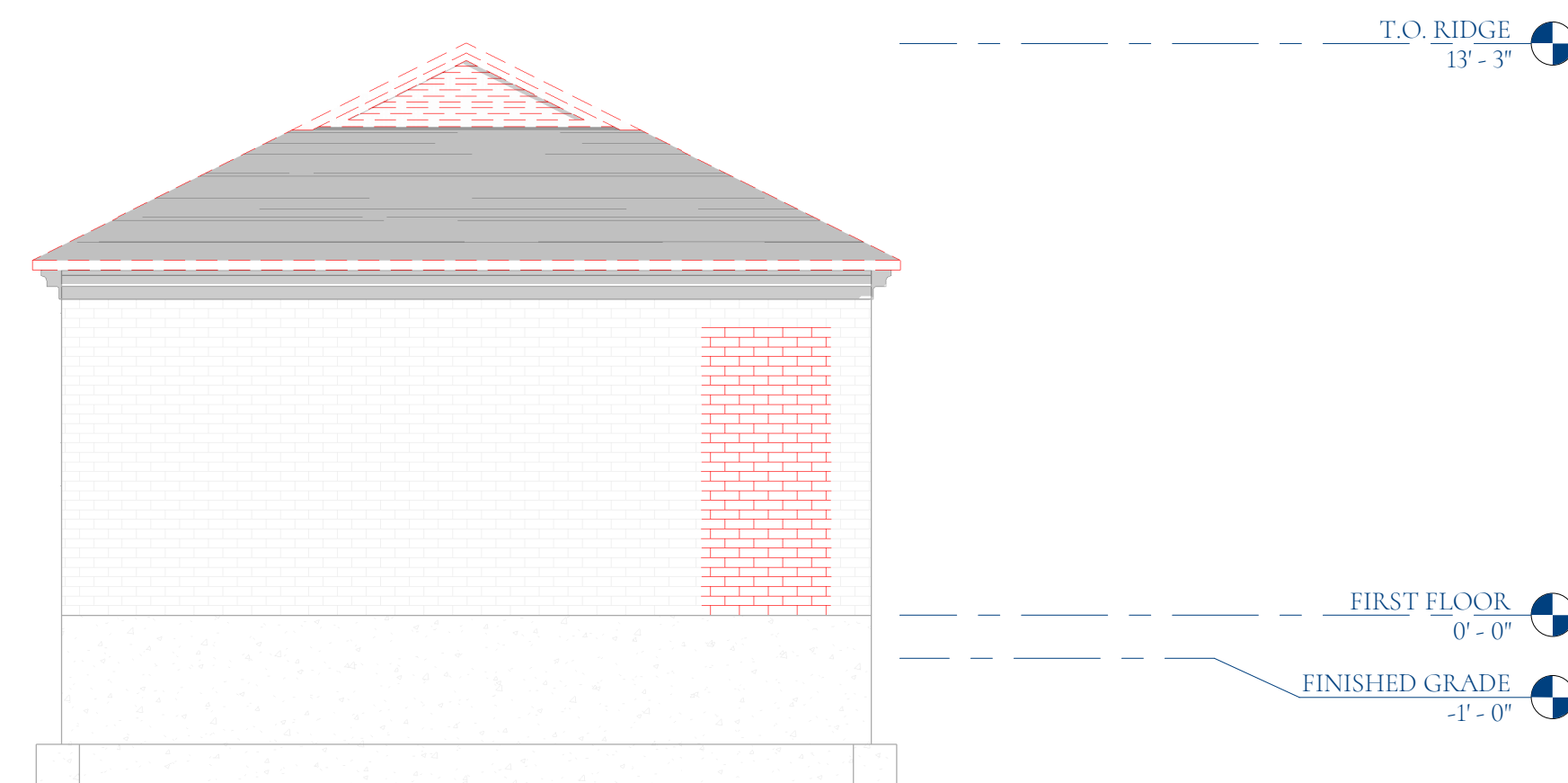
B2 EXISTING FRONT ELEVATION
A201a | SCALE: 1/4" = 1'-0"



C1 EXISTING LEFT ELEVATION
A201a | SCALE: 1/4" = 1'-0"



C3 EXISTING RIGHT ELEVATION
A201a | SCALE: 1/4" = 1'-0"



D2 EXISTING BACK ELEVATION
A201a | SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

EM1		BRICK VENEER - MATCH EXISTING
EM2		HARDIE SIDING AND TRIM - COLOR TO BE DETERMINED BY HOME OWNER
EM3		30 YEAR ARCHITECTURAL ASPHALT SHINGLE

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- PROVIDE ALL EXTERIOR OPENINGS WITH FLASHING, COUNTER FLASHING AND CAULKING WITH PROPER TYPE OF SEALANT. SEALING AND INSULATION OF WINDOWS MUST BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PROVIDE ICE AND WATER SHIELD AT ROOF EAVES AND VALLEYS EXTENDING 24" PAST THE EXTERIOR WALL LINE OF THE BUILDING FOR SEVERE CLIMATE CONDITIONS.

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KYLE MUIR - ADDITION & ADU	
1362 SOUTH 600 EAST SLC, UT 84105	

ADDITION EXISTING/DEMO EXTERIOR ELEVATIONS	SHEET NUMBER: A201a
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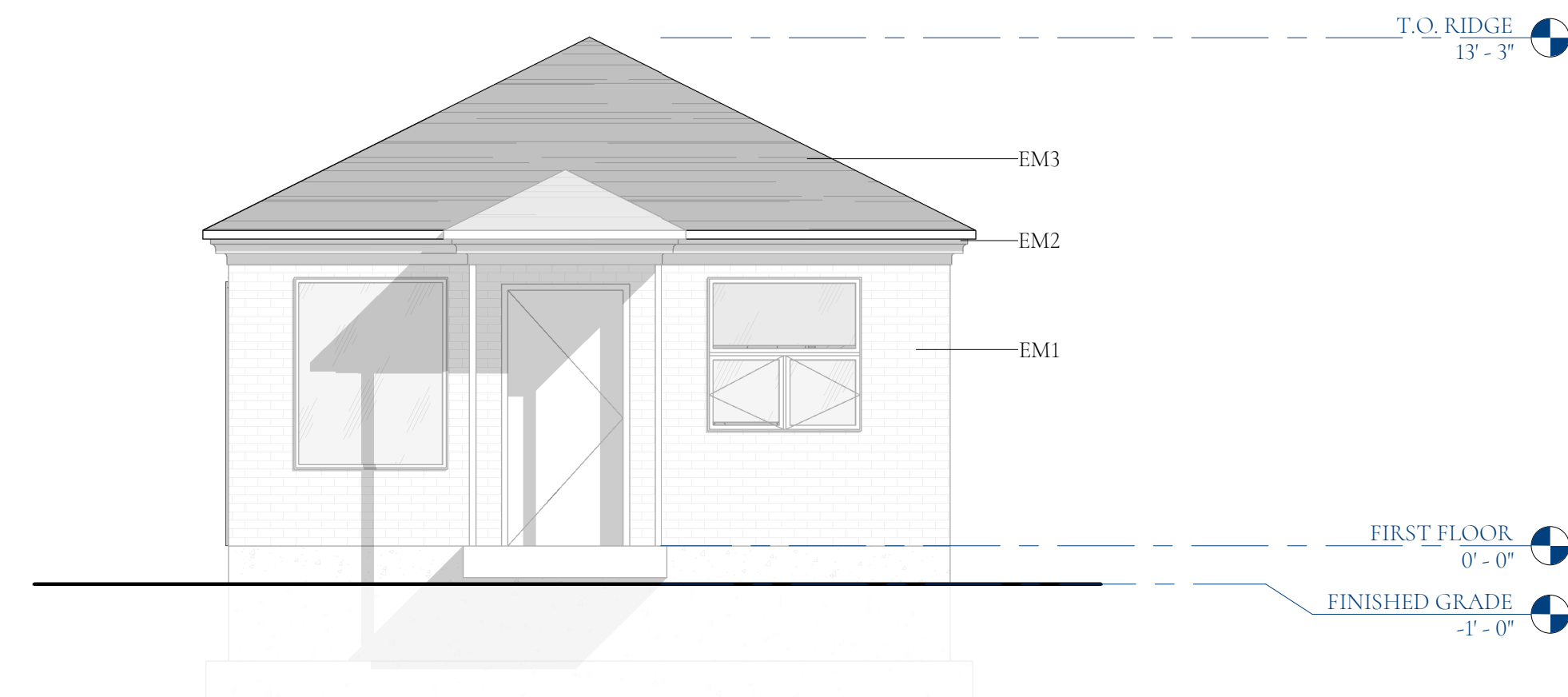
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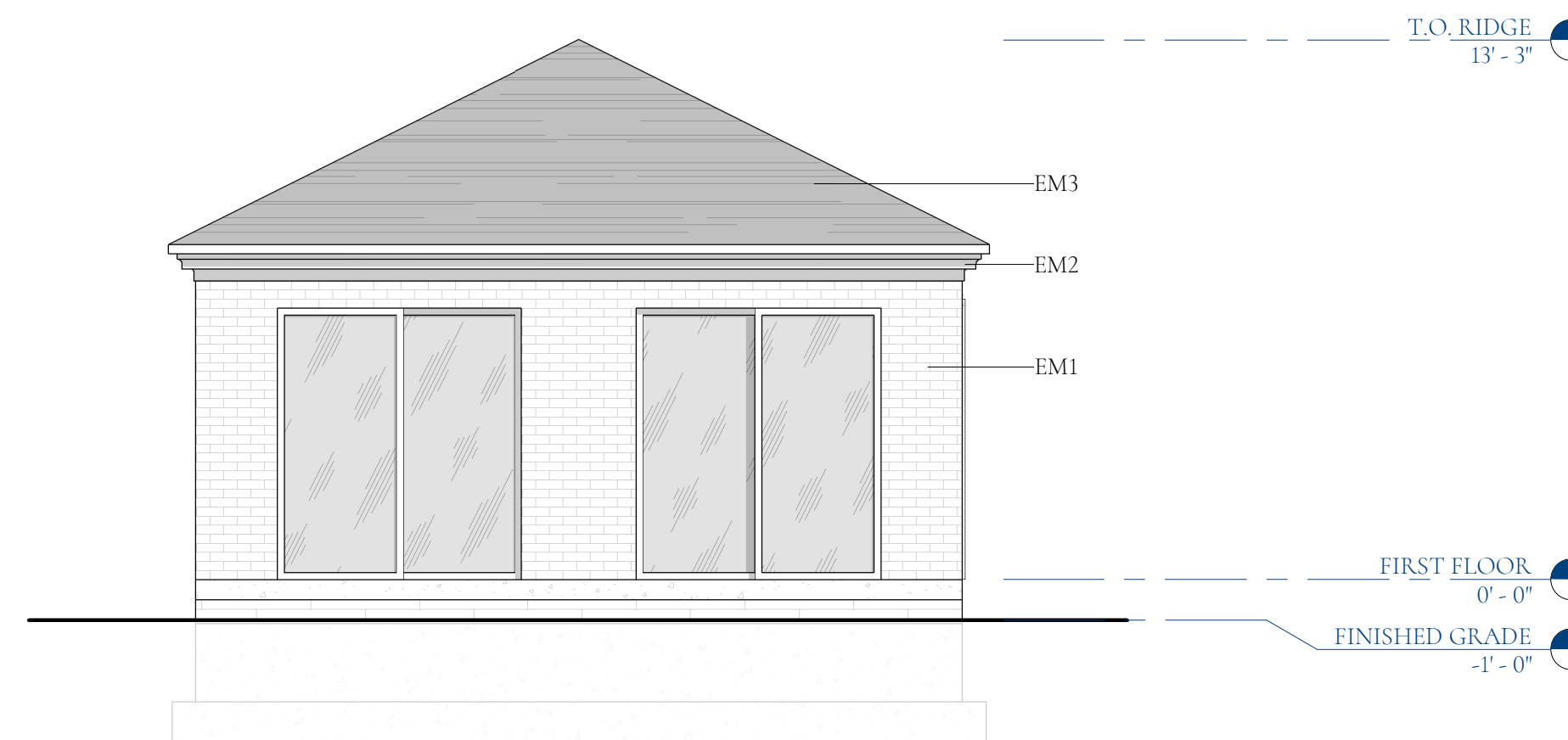
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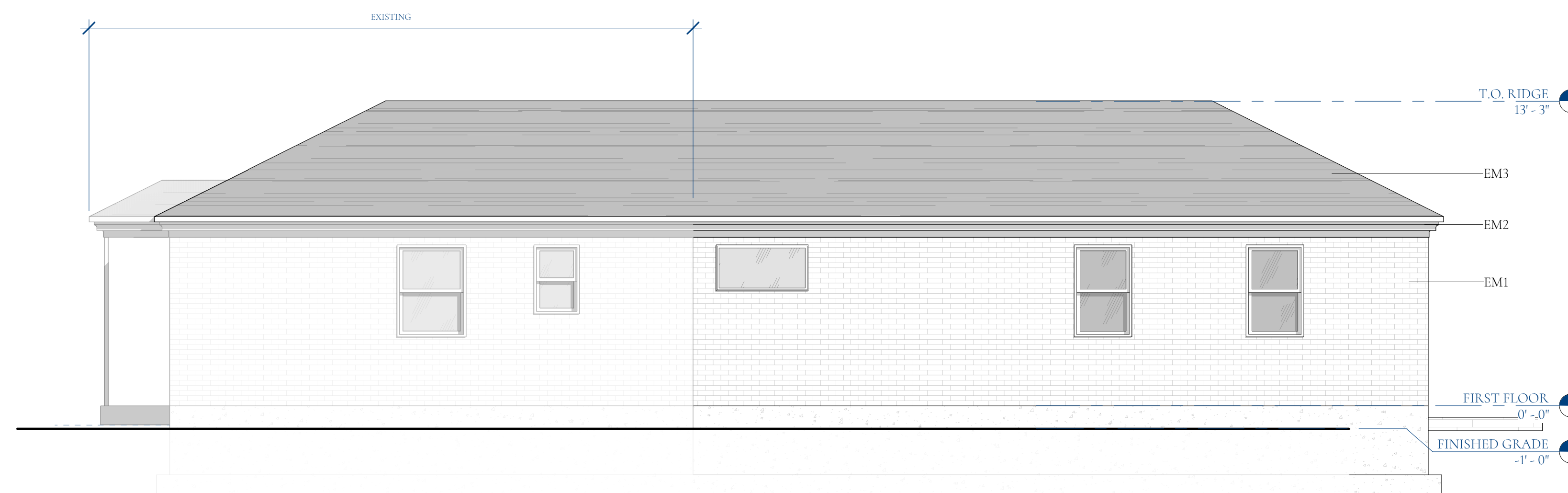
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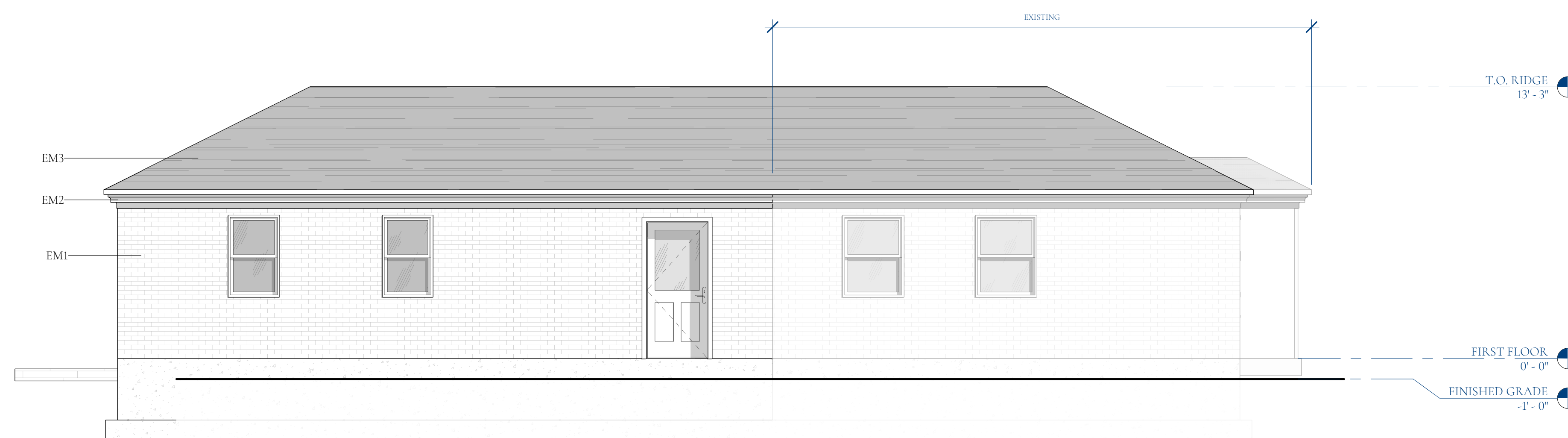
B1 NEW FRONT ELEVATION
A202a | SCALE: 1/4" = 1'-0"



A3 NEW BACK ELEVATION
A202a | SCALE: 1/4" = 1'-0"



C2 NEW RIGHT ELEVATION
A202a | SCALE: 1/4" = 1'-0"



D2 NEW LEFT ELEVATION
A202a | SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

EM1		BRICK VENEER - MATCH EXISTING
EM2		HARDIE SIDING AND TRIM - COLOR TO BE DETERMINED BY HOME OWNER
EM3		30 YEAR ARCHITECTURAL ASPHALT SHINGLE

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- PROVIDE ICE AND WATER SHIELD AT ROOF EAVES AND VALLEYS EXTENDING 24" PAST THE EXTERIOR WALL LINE OF THE BUILDING FOR SEVERE CLIMATE CONDITIONS.

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PROJECT:			SHEET NUMBER: A202a
KYLE MUIR - ADDITION & ADU			
1362 SOUTH 600 EAST SLC, UT 84105			
SHEET NAME:			
ADDITION NEW EXTERIOR ELEVATIONS			

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SHEET NOTES

1. -

MATERIAL LEGEND

EM1	BOARD & BATTEN SMOOTH HARDIE BOARD - SW IRON ORE
EM2	SMOOTH HARDIE BOARD TRIM - SW - IRON ORE
EM3	ALUMINUM FACIA AND DRIP EDGE - SW - IRON ORE
EM4	GALVANIZED ALUMINUM ROOF

GENERAL NOTES

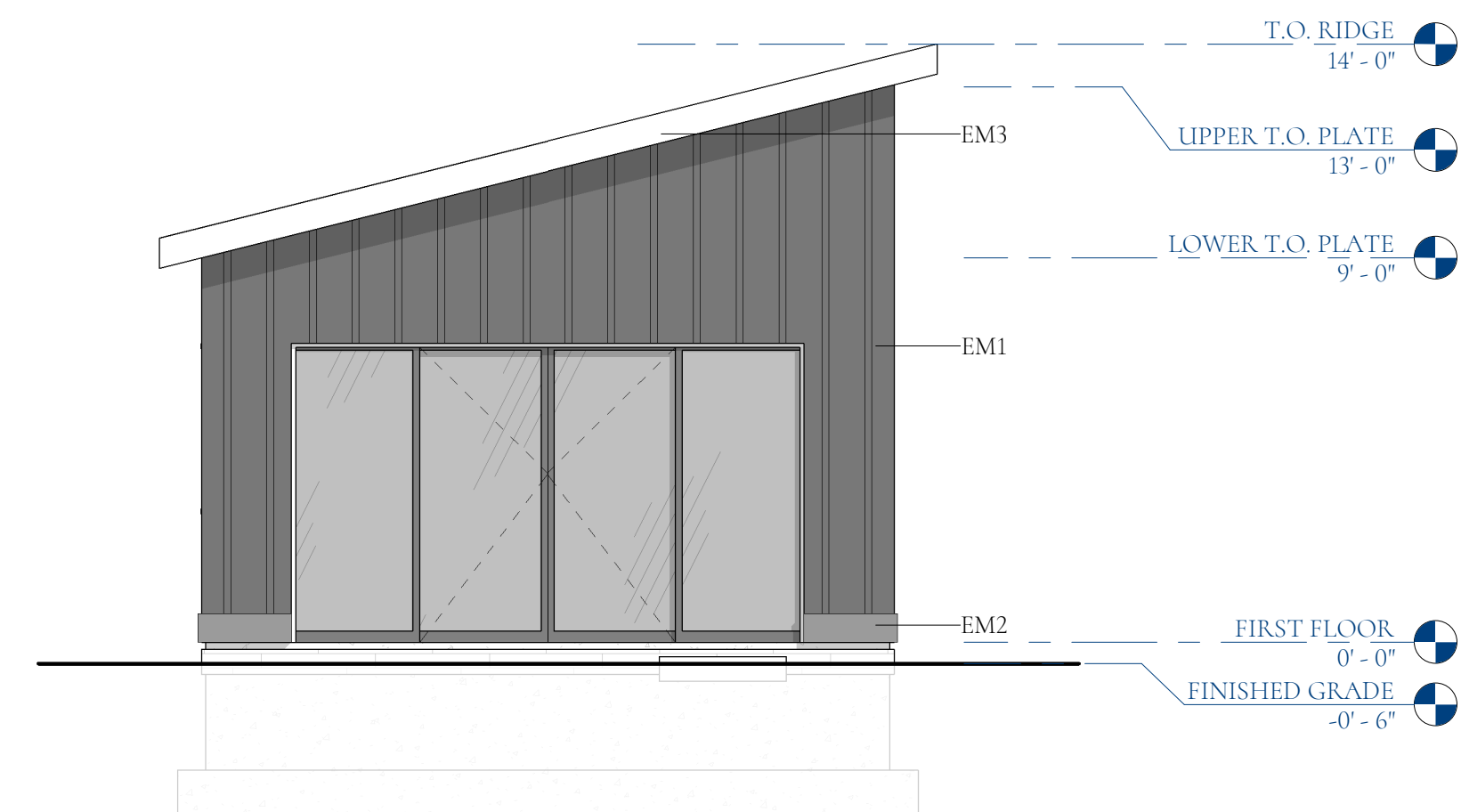
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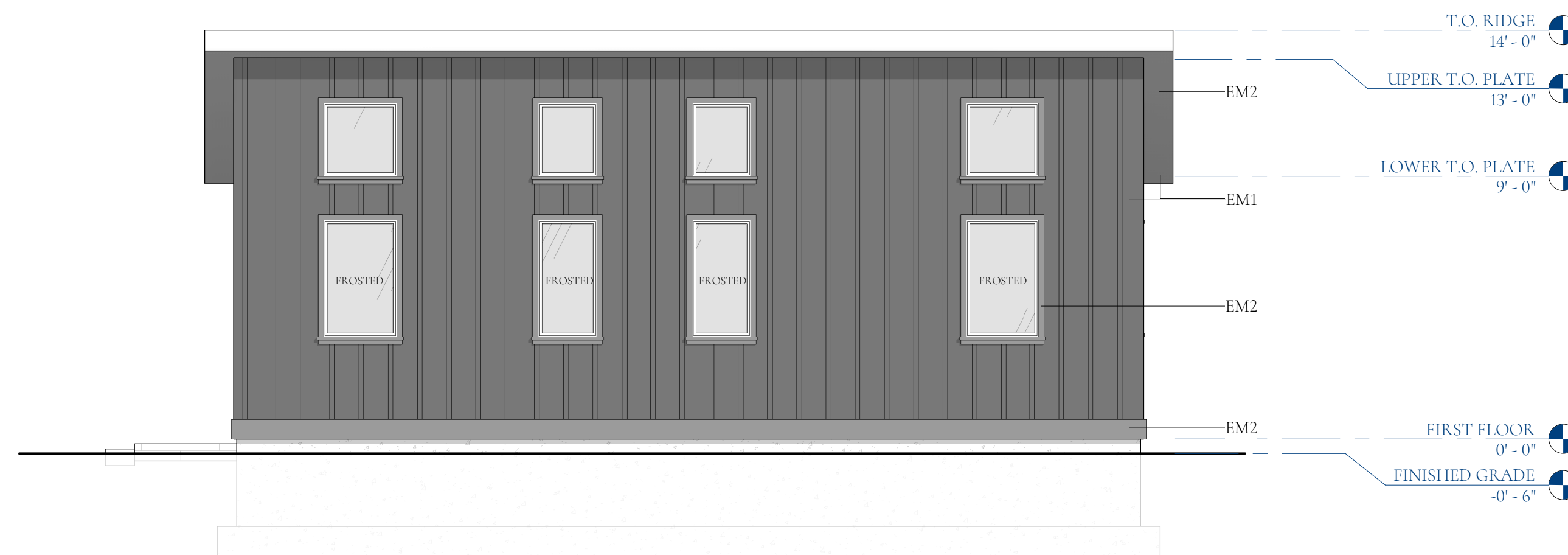
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 1362 SOUTH 600 EAST
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SHEET NAME:
ADU EXTERIOR ELEVATIONS

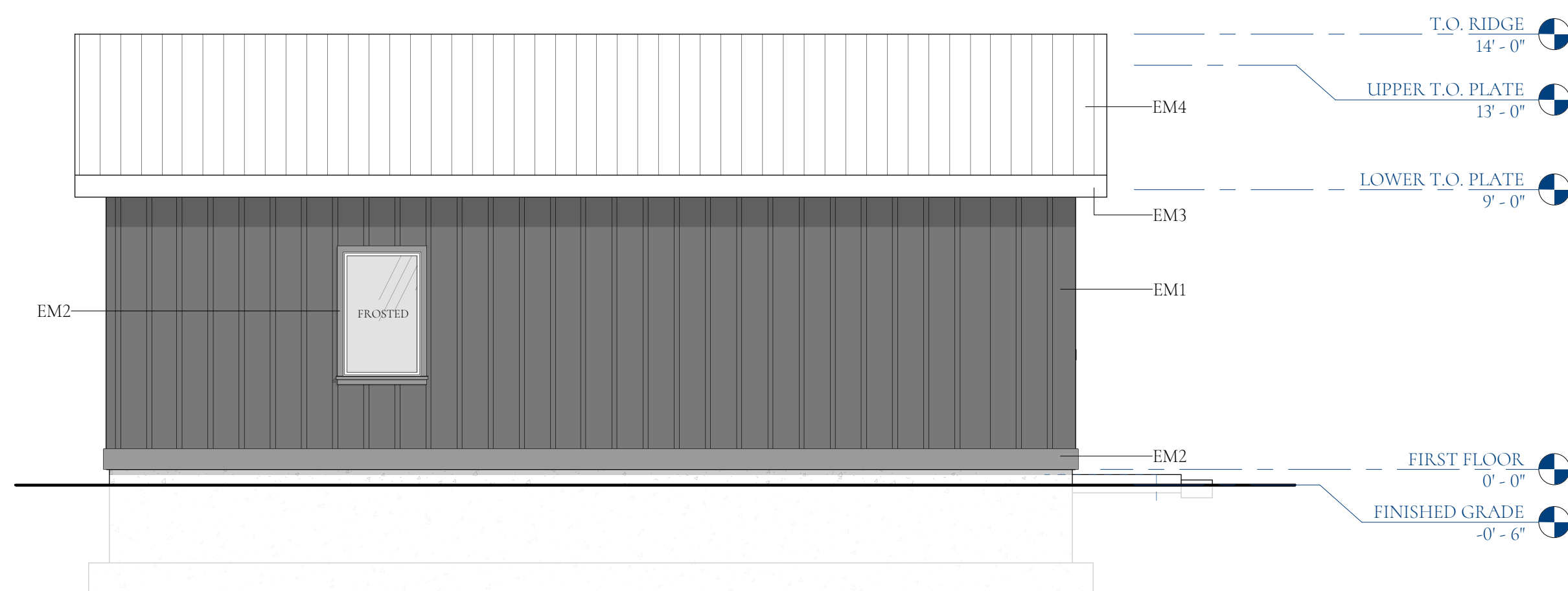
SHEET NUMBER:
A203b



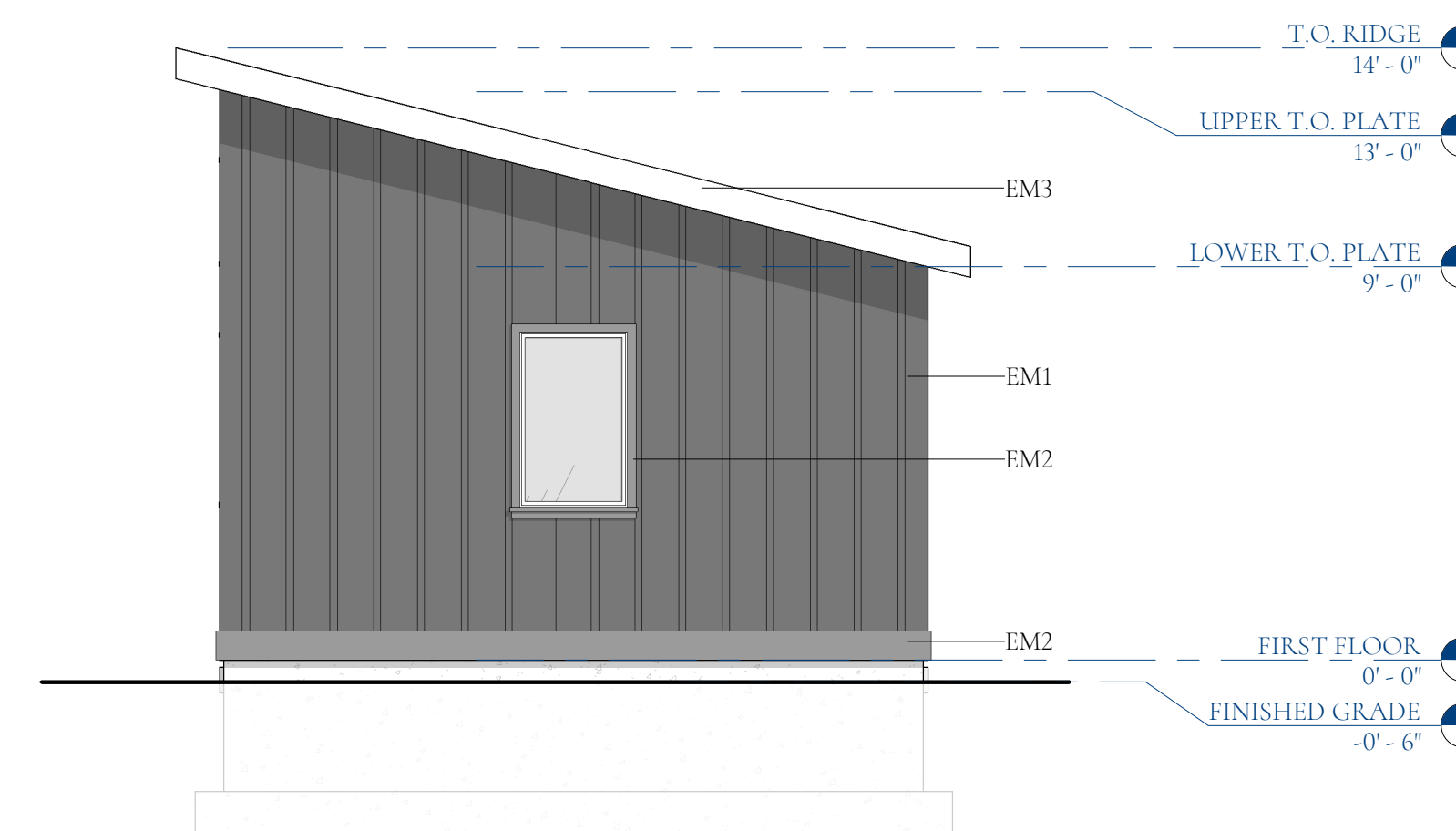
B1 FRONT ELEVATION - EAST
 A203b | SCALE: 1/4" = 1'-0"



B3 RIGHT ELEVATION - NORTH
 A203b | SCALE: 1/4" = 1'-0"



C1 LEFT ELEVATION - SOUTH
 A203b | SCALE: 1/4" = 1'-0"



C3 BACK ELEVATION - WEST
 A203b | SCALE: 1/4" = 1'-0"



D2 BUILDING SECTION
 A203b | SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Project Description

After remodeling my current home I found a signed city building permit from 1947 in the walls. The home is tiny (437sqft) with a large and long backyard right next to liberty park. I'd like to make good use off the long back yard and add value to the surrounding neighborhood.

My proposal is to double the footprint of the current 437sqft home and build a detached dwelling unit on the back edge of the property with a common area in between (firepit and permaculture site).

Alan Hardman informed me that the zone requires conditional use approval and that the proposed rear addition to the original home special exception approval due to existing structure.

*There is an existing 18-inch sewer main in 600 East. The lateral on site was built in 1950 and because it is older than 50 years old, it may only be reused if they can pass a video inspection. I will need to acquire a city permit and have an inspector onsite at the time my plumber comes to do a video inspection.

**As stated in the review comments I qualify for a parking reduction under 21A.40.200.E.1.g. The property does have one parking spot legally located along the street frontage and is also located within a one-quarter mile of a transit stop.

Conditional Use Information

Operating/Delivery Hours: 9AM-5PM, normal working day hours.

Adjacent/Abutting Land Use: All surrounding properties are residential. There is a 4-plex directly North, and the Park Cafe about a half block down the street.

Expected # Employees: 5-8 employees expected to make most efficient use of time

Seats Provided: Not Applicable

Neighbors: I have spoken with the neighbors to the South. I showed them the plans and they are happy with them. I have left messages with the owner of the 4-plex to the North. They do not live on site. I would need their approval for use of their driveway access for construction.

***21A.54.080 standards have been reviewed**